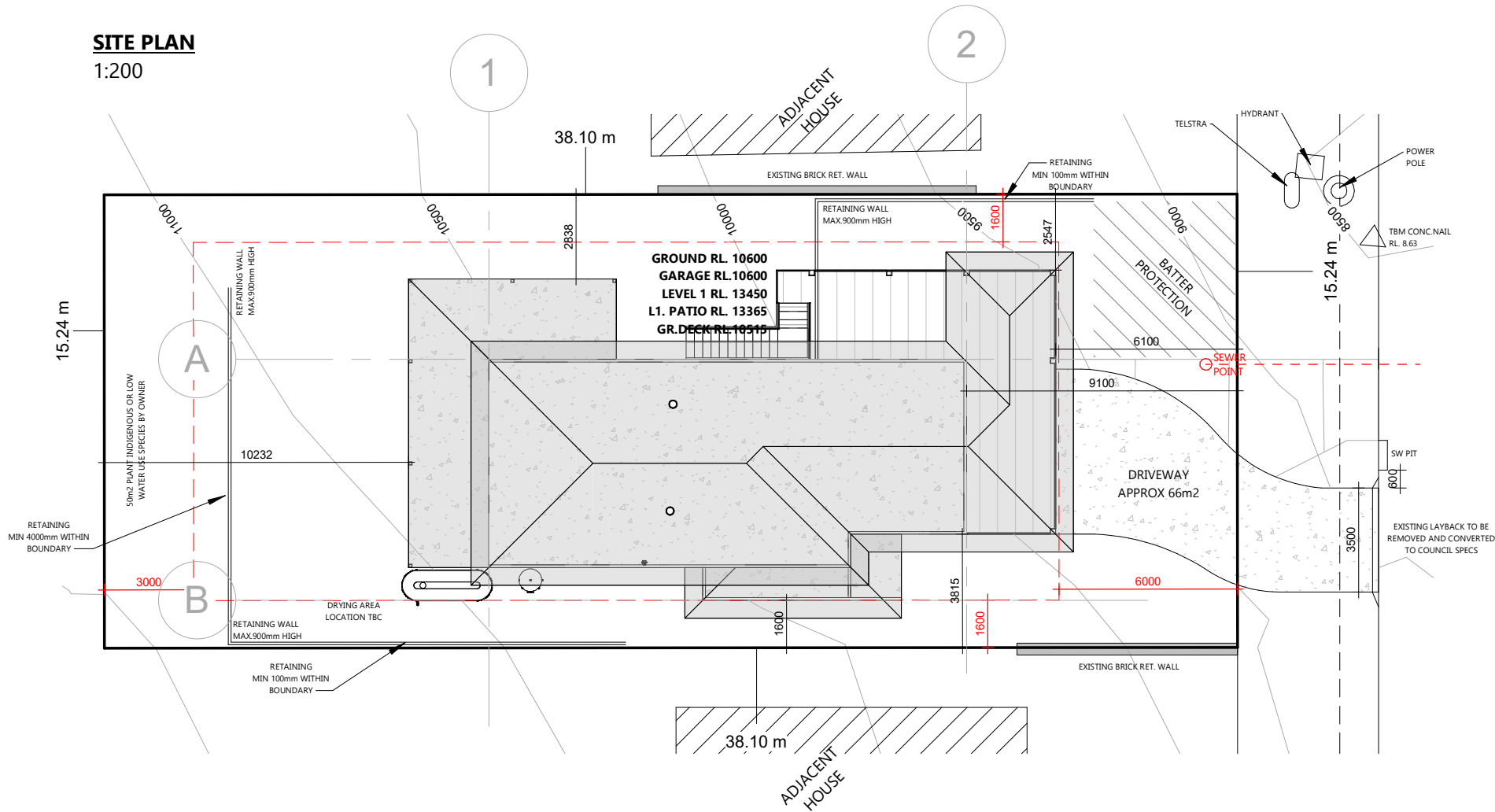


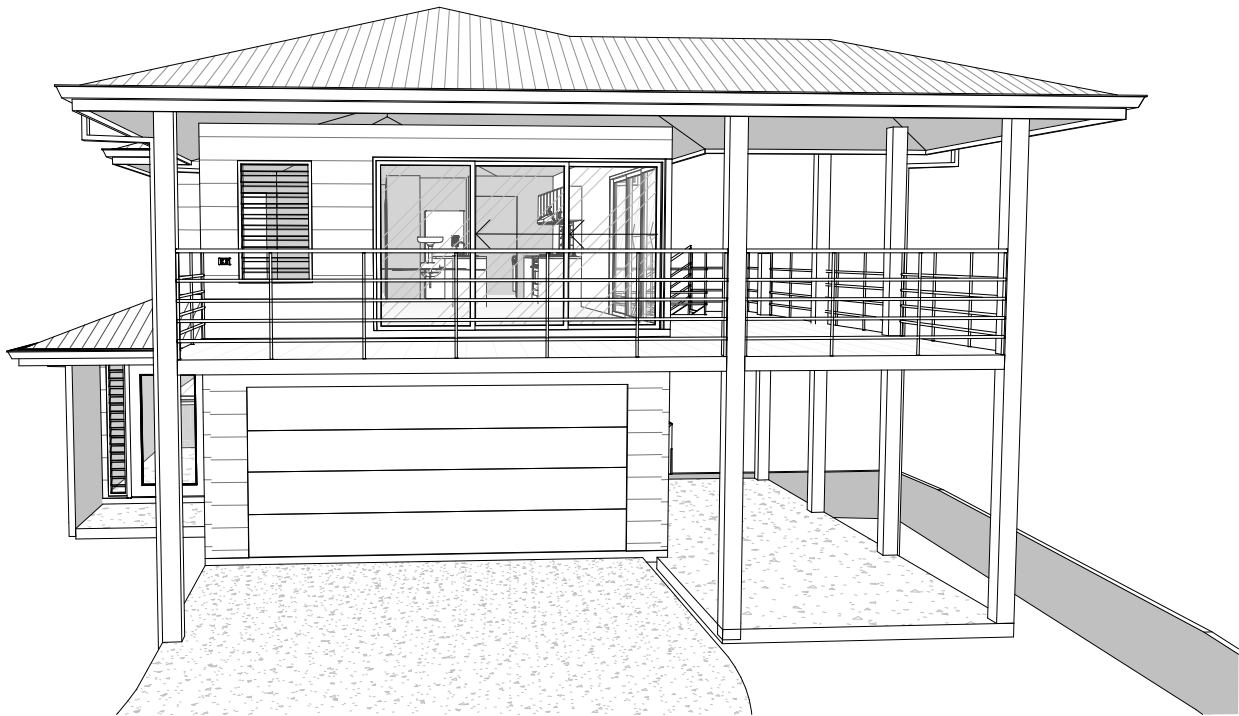
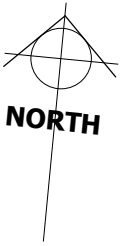
SITE PLAN

1:200



LOT 11
DP 22781
25 MARINE DR
WALLABI POINT 2430
580m2

TOTAL SITE	580 m2
SITE COVERAGE	197 m2
PERCENTAGE	33.96 %
GROSS FLOOR AREA	213 m2
PERCENTAGE	36.72 %



BASIX COMMNTMENTS

PLUMBING FIXTURES

SHOWER HEADS 4 STAR
TOILET SYSTEM 5 STAR
KITCHEN TAPS 5 STAR
BATHROOM TAPS 5 STAR

RAINWATER

3000 LITRE TANK COLLECTING 100m2 OF ROOF
CONNECTED TO AT LEAST ONE OUTDOOR TAP

THERMAL COMFORT

FLOOR - CONCRETE SLAB ON GROUND, WAFFLE POD SLAB.
FLOOR - SUSPENDED FLOOR ABOVE ENCLOSED SUBFLOOR, HARD WOOD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
GARAGE FLOOR - CONCRETE SLAB ON GROUND, WAFFLE POD SLAB.
EXTERNAL WALL:
FRAMED (SOLID OR RECONSTITUTED TIMBER WEATHERBOARD); FRAME: TIMBER - H2 TREATED SOFTWOOD.
INTERNAL WALL SHARED WITH GARAGE:
PLASTERBOARD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
INTERNAL WALL: PLASTERBOARD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
CEILING AND ROOF - FLAT CEILING / PITCHED ROOF, FRAMED - METAL ROOF, TIMBER - H2 TREATED SOFTWOOD.

HEATING AND COOLING

COOLING - AT LEAST 1 LIVING AREA - 5 STAR
HEATING - NONE
ONE CEILING FAN IN AT LEAST ONE DAYTIME HABITABLE SPACE, SUCH AS LIVING ROOM.
ONE CEILING FAN IN EACH BEDROOM.

HOT WATER SYSTEM

ELECTRIC HEAT PUMP WITH A PERFORMANCE OF 36 TO 40 STCS OR BETTER.

VENTILATION

AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY

NATURAL LIGHTING

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING.
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ARTIFICIAL LIGHTING

THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS.

OTHER

INDUCTION COOKTOP AND ELEC OVEN
THE FRIDGE SPACE IS TO BE WELL VENTILATED
A FIXED OUTDOOR CLOTHES LINE MUST BE INSTALLED

LANDSCAPING

MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES - 50m2

G.J. Gardner. HOMES

I&C Homes Pty Ltd
Licence 309023C
63 Muldoon Street
Taree, NSW , 2430

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TO G.J.GARDNER HOMES

ALIGNBUILDINGDESIGN
Anthony Staines
Draftsman NSW

CLIENT:

PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:

SITE PLAN

SCALE:

As indicated

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
- GARAGE	45 m ²
- Gr.LIVING	68 m ²
- Gr.PATIO	38 m ²
- PORCH	4 m ²
- Up.LIV	108 m ²
	322 m ²

JOB NUMBER:

SHEET SIZE:

DRAWN:

A3

DATE: 9/04/2025 10:19:16 AM

PAGES: 01

REV:

DETAILS:

DATE:

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9/04/2025 10:19:16 AM

I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

CLIENT:
**PAUL AND JOANNE
GRIFFIN**

PROJECT: PROPOSED NEW RESIDENCE
**25 MARINE Dr
Wallabi Point 2430**
LOT 11 DP 22781

DRAWING TITLE:
ELEVATIONS

SCALE:
1 : 100

- FRONT DECK	43 m²
- FRONT PAD	16 m²
- GARAGE	45 m²
- Gr.LIVING	68 m²
- Gr.PATIO	38 m²
- PORCH	4 m²
- Up.LIV	108 m²
	322 m²

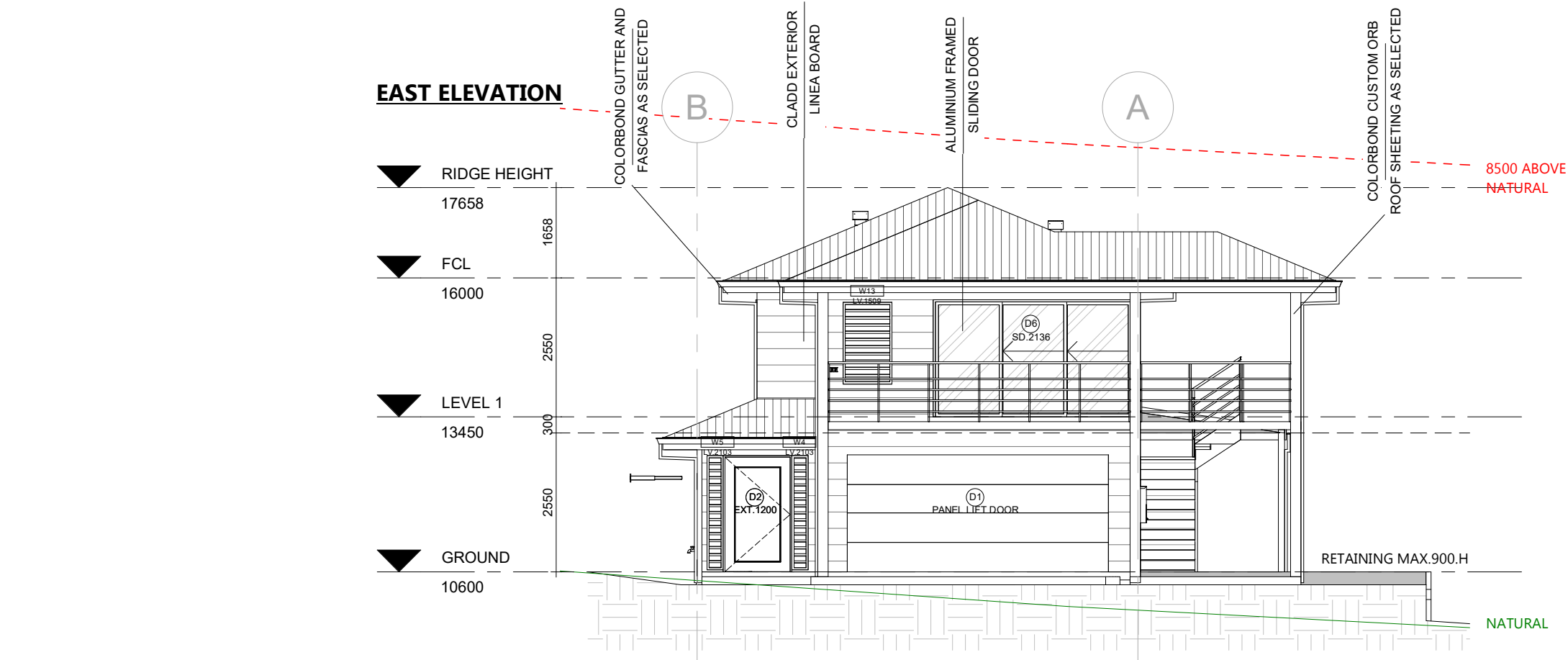
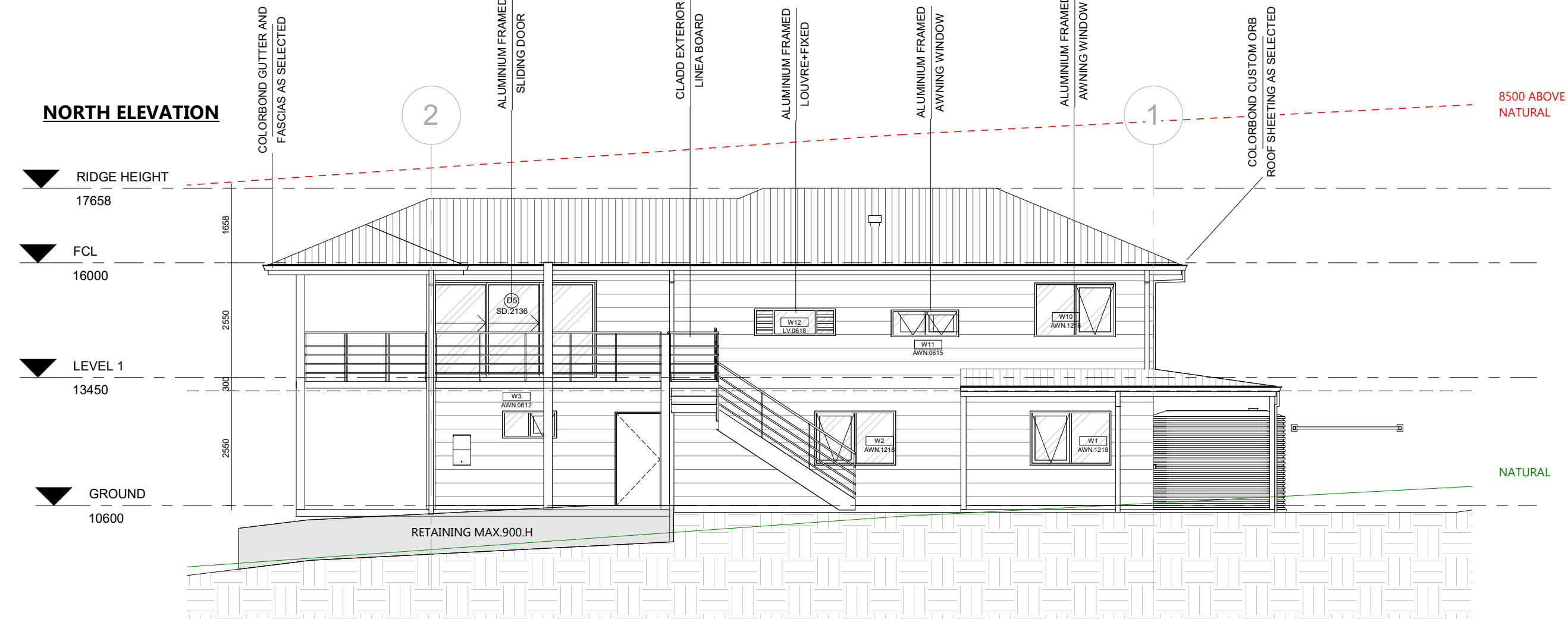
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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



CLIENT:
**PAUL AND JOANNE
GRIFFIN**

PROJECT: PROPOSED NEW RESIDENCE
**25 MARINE Dr
Wallabi Point 2430**
LOT 11 DP 22781

DRAWING TITLE:
ELEVATIONS

SCALE:
1 : 100

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
- GARAGE	45 m ²
- Gr.LIVING	68 m ²
- Gr.PATIO	38 m ²
- PORCH	4 m ²
- Up.LIV	108 m ²
	322 m ²

JOB NUMBER: SHEET SIZE:

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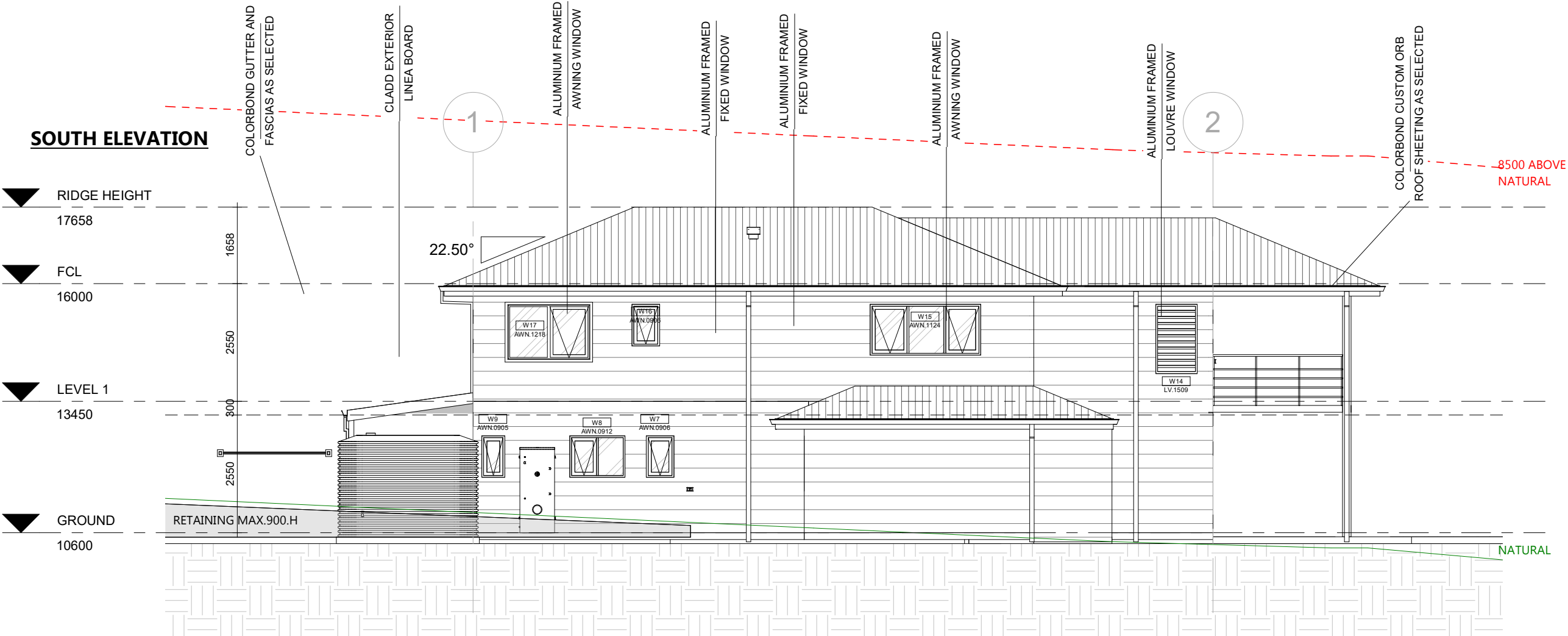
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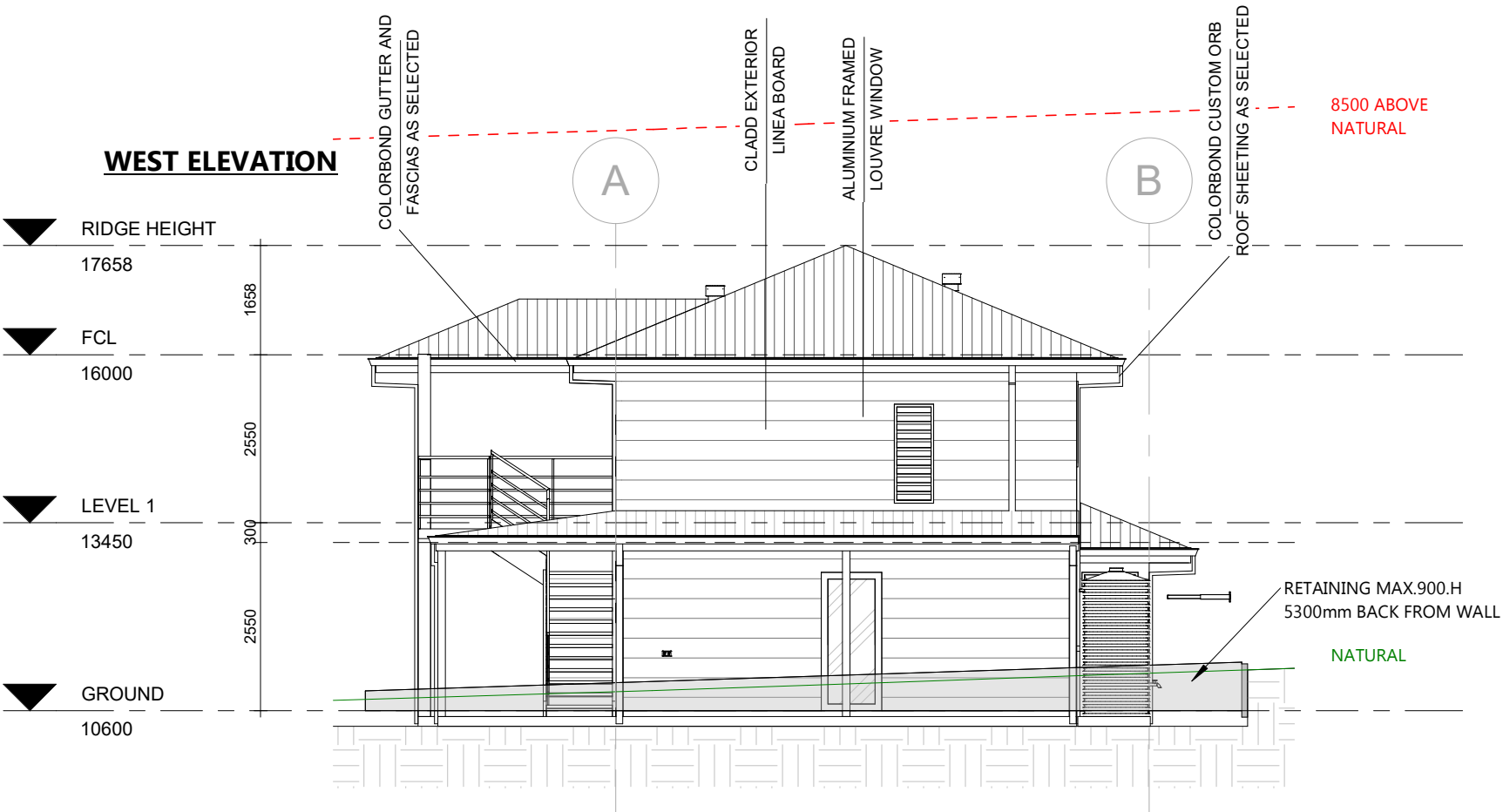
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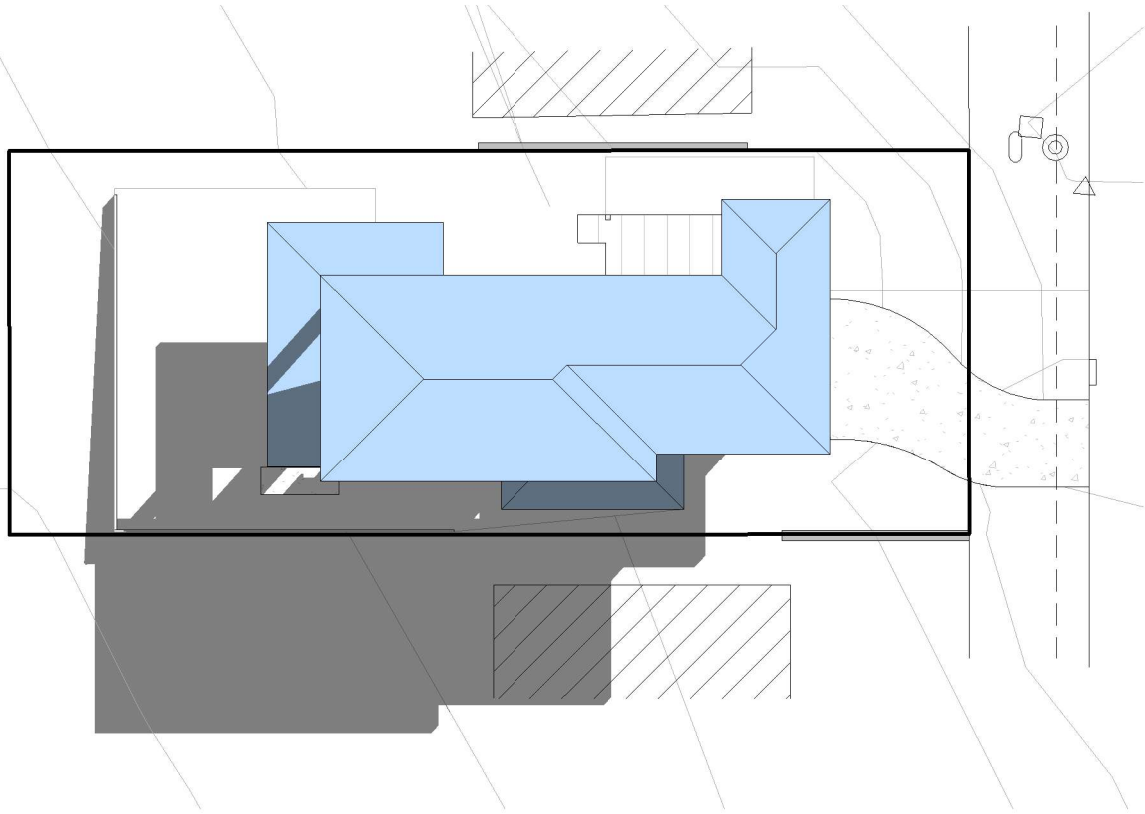
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SOUTH ELEVATION

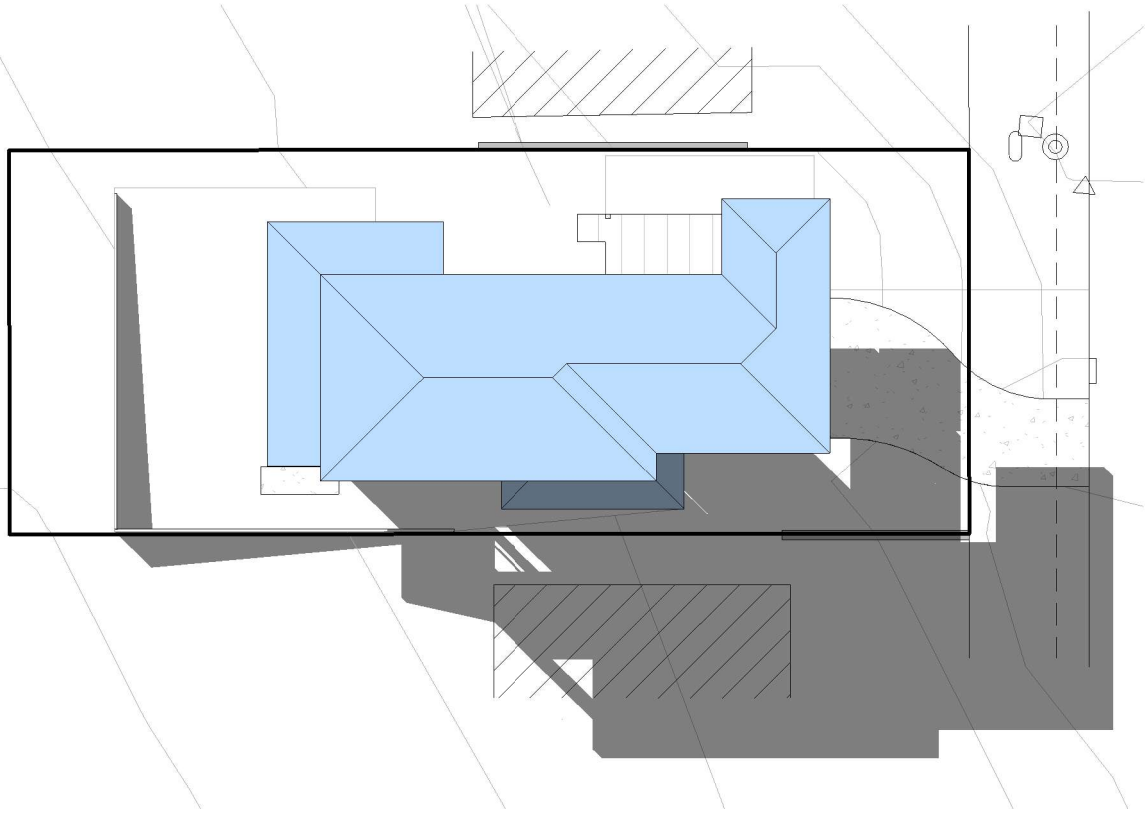


WEST ELEVATION

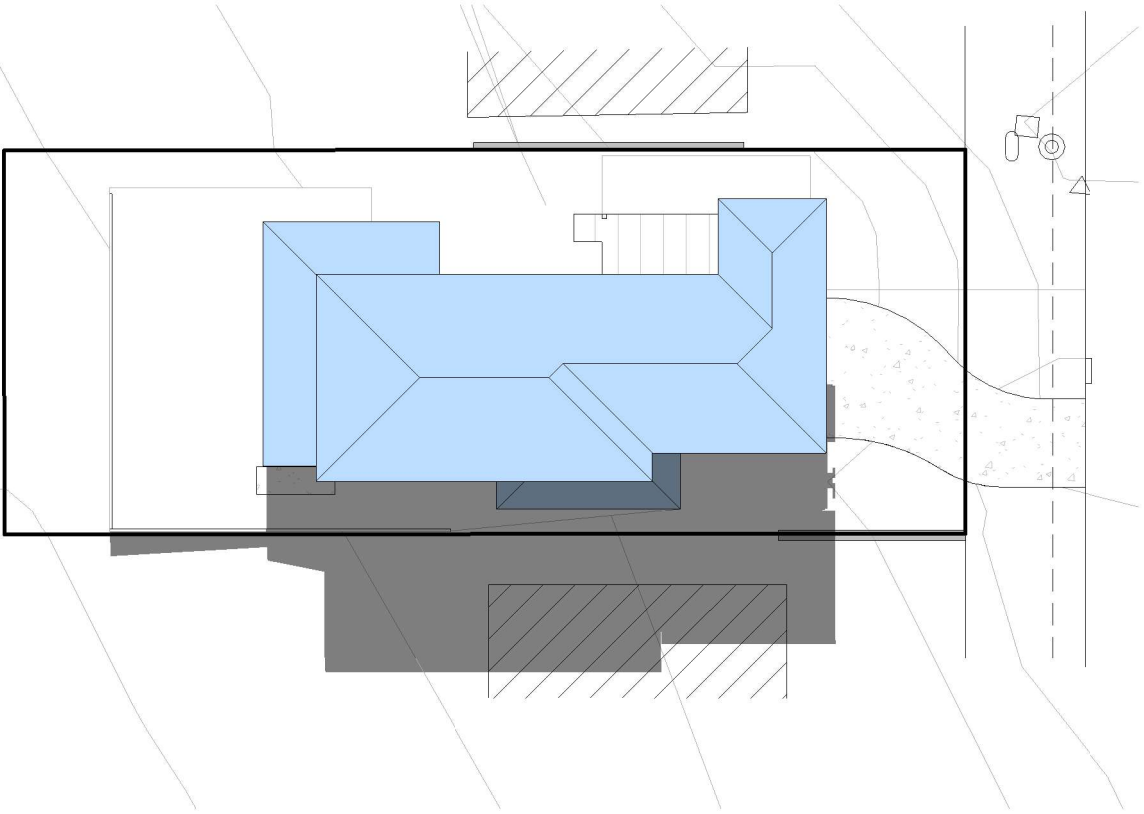




JUNE 9am



JUNE 3pm



JUNE 12pm

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PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:
SHADOWING
SCALE:
1 : 300

- FRONT DECK	43 m²
- FRONT PAD	16 m²
- GARAGE	45 m²
- Gr.LIVING	68 m²
- Gr.PATIO	38 m²
- PORCH	4 m²
- Up.LIV	108 m²
322 m²	

JOB NUMBER:		SHEET SIZE:
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DATE:	9/04/2025 10:19:24 AM	PAGES: 11
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	REV D 9/04/2025 10:19:24 AM	

I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE: